

DESIGN GUIDELINES FOR SABINO MOUNTAIN

NON-LIABILITY FOR APPROVAL OF PLANS—PLANS AND SPECIFICATIONS SHALL BE APPROVED BY THE DESIGN REVIEW COMMITTEE AS TO STYLE, EXTERIOR DESIGN, APPEARANCE AND LOCATION, AND ARE NOT APPROVED FOR ENGINEERING DESIGN OR FOR COMPLIANCE WITH ZONING AND BUILDING ORDINANCES OR GOVERNMENTAL REQUIREMENTS. BY APPROVING PLANS AND SPECIFICATIONS THE DESIGN REVIEW COMMITTEE, THE MEMBERS THEREOF, THE ASSOCIATION, THE PRESIDENT AND THE BOARD ASSUME NO LIABILITY OR RESPONSIBILITY THEREFOR, OR FOR ANY DEFECT IN ANY STRUCTURE CONSTRUCTED FROM THE PLANS AND SPECIFICATIONS.

REVIEW AMENDED AND RESTATED DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR SABINO MOUNTAIN FOR MORE INFORMATION.

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1. SITE PLANNING

1.1 ZONING

Pima County zoning governs all development, except as further restricted by the Sabino Mountain Protective Covenants and the requirements contained herein.

1.2 SITE DEVELOPMENT

No site building shall occur on any lot until Development Plans and Architectural Plans are submitted to and approved by the Sabino Mountain Design Review Committee.

Site development shall conform to the natural topography, preserving terrain and natural vegetation drainage ways.

No representation is made with respect to views and/or privacy from any property purchased or from any dwelling constructed.

Development Plans shall include:

- a. Site Plan – minimum 40 scale with north arrow, title and date. Identify location of adjacent properties and their structures. Identify location of construction toilets and dumpsters.
- b. Landscaping Plan – including irrigation/watering system layout.

Architectural Plans shall include:

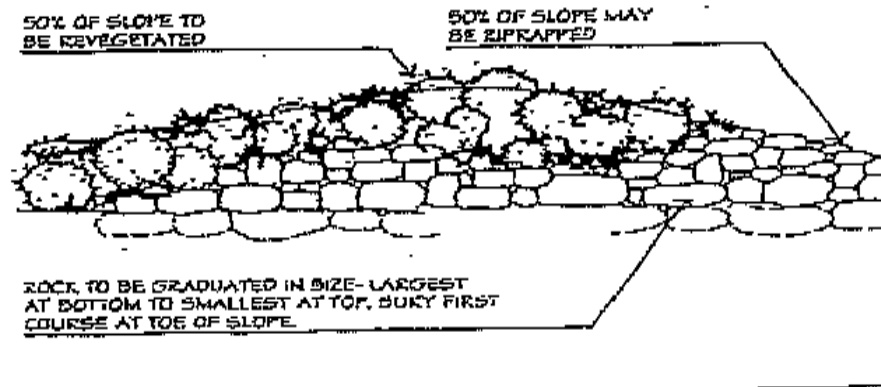
- a. Floor plan
- b. Exterior Elevations
- c. Exterior Color and Building Materials

1.3 RIPRAP

Riprap shall be hand-placed rock from the site or native to the Santa Cruz River Basin and shall adhere to the Rock Riprap Limitations (See below). Not more than 50% of any single slope may be riprapped. Every attempt should be made to minimize the exposure of riprap rock with coverage of natural desert landscape (See Appendix 1: LANDSCAPING PLANT MATERIALS. Also see 1.4 SIDE SLOPE GRADING).

Rock Riprap Limitations

- a. Maximum height of 4"
- b. Maximum slope coverage of 50%



1.4 SIDE SLOPE GRADING

Side slope banks between lots shall be protected. Protection method shall be at the discretion of the lot owner and shall be by means of landscaping, riprap, stabilized soil, retaining walls, or other methods approved by the Design Review Committee. It is the lot owner's responsibility to submit a proposed slope protection design as part of the plan review process. It is also the responsibility of the individual uphill and downhill lot owners to consider the effect of side slope conditions on the building design and the placement of the structures on the lots.

Maximum Slope Protection Specifications

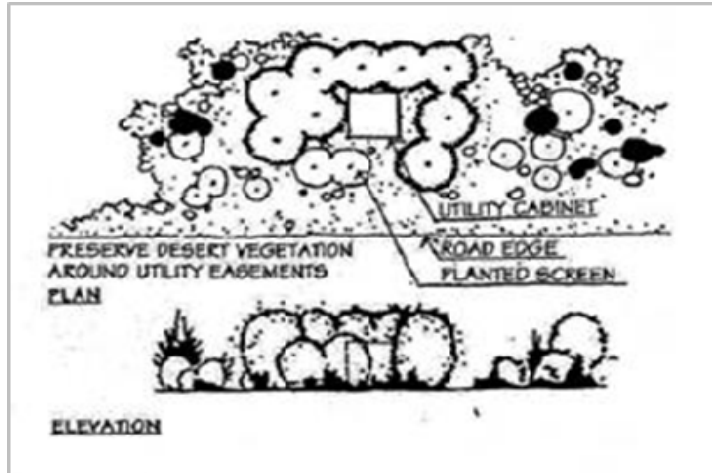
- a. Landscape protection alone will not be permitted on slopes greater than a 3:1 ratio, and/or greater than a 2'-0" vertical height.
- b. Slope protection consisting of riprap with landscape (See 1.3 RIPRAP) will not be permitted on slopes greater than 2.5:1 ratio, and/or higher than 4'-0".
- c. Retaining walls or engineered riprap will be required as all or part of the proposed slope protection design at all slopes with a ratio of 1:1 and/or vertical heights greater than 4'-0" (See 2.7 RETAINING WALLS).
- d. Stepped retaining walls, engineered riprap and/or a combination of approved methods are required for slopes higher than 6'-0". The intent is to lessen the visual impact of the retaining walls (See 2.7 RETAINING WALLS).

1.5 UTILITIES

Install all utility services underground, locating lines under driveways or other disturbed areas to avoid additional site damage and repair. Utilities must be clearly indicated on site plans.

Screen all exterior transformations, utility pads, meters and mechanical equipment such as solar cooling and heating devices with walls, vegetation, or other natural elements. Screen all air conditioning units with walls and gate(s). An enclosed utility yard that adheres to Wall Guidelines is required for all tanks, wood storage and trash or rubbish

containers (See 2.6 WALLS). All transformers, meter boxes, etc. at the house, must be painted to complement the exterior house colors.



1.6 SETBACKS AND SIGHT DISTANCES

Minimum setbacks for homes shall be per the Building Setback Specifications (per Recorded Plat).

For drainage purposes a 4' minimum side yard setback is required on custom lots that have a 1:1 slope.

Proper lot drainage is the responsibility of the homeowner/builder.

1.7 LANDSCAPING

The design guidelines for single family residences at Sabino Mountain require a minimum of landscaping, including an automatic irrigation system. There are two categories of landscaping that can occur within a given lot.

1. Landscaping (excludes rear, walled yards)
2. Ornamental Landscaping

All landscaping will be approved by the Architectural Committee before installation. The theme for landscaping shall emphasize planting and other features that will complement and enhance the native, existing character. Certain planting will be prohibited as defined by these Architectural Rules and Design Guidelines. Approved landscaping after installation will be maintained as required to provide a neat and attractive appearance. Removal of dead bushes and trees and removal of trash and debris will be accomplished as required to this effect. The Architectural Committee will be the sole and final judge as to whether or not landscaping after installation has met the approved criteria and whether or not it is, at any given time, maintained properly to the standards

established by the CC&Rs and these Architectural Rules and Design Guidelines. The Association will have the right to require any owner to landscape and/or maintain landscaped area, or to maintain natural areas in their natural state on any right-of-way between a Lot and a sidewalk, street or patio that is immediately adjacent to such Lot. The Association also has the right, by agreement with the Owners, to maintain parts of Lots or Parcels directly adjacent to public or private rights-of-way at the expense of the Association when the Board determines that it is to the benefit of all Members that the Association accepts such responsibility.

Landscaping shall enhance the quality of the surrounding desert landscape. The objective of landscaping design at Sabino Mountain is to achieve a visual continuity with the natural desert surroundings.

Undeveloped lots must be landscaped within two (2) years of purchase date. Minimal lot maintenance will be required.

Irrigation

Drip irrigation techniques shall be used to establish container plants. A permanent or temporary spray system shall be used to establish all seeded areas.

No irrigation may be installed on side slopes.

Plant Material

To establish visual continuity in Landscaping, plant materials used shall be native Sonoran Desert Foothills vegetation or compatible drought tolerant vegetation. Only plants listed in Appendix 1: APPROVED LANDSCAPING PLANT MATERIALS shall be used. Ornamental plants not indigenous to desert regions and not on the approved list, including turf grasses (lawn), shall be permitted on individual building lots only in areas behind patio walls.

Rock Mulch

To ensure visual continuity on the ground plane between the Landscaping area and the surrounding natural desert, the use of crushed rock and river run rock shall be limited to 50% of the total distributed area. The color of the crushed rock shall match as closely as possible to the existing site soil cover. River rock, 3 inches or larger, and boulders can be used in the landscaped areas; however, they must be native to the immediate area.

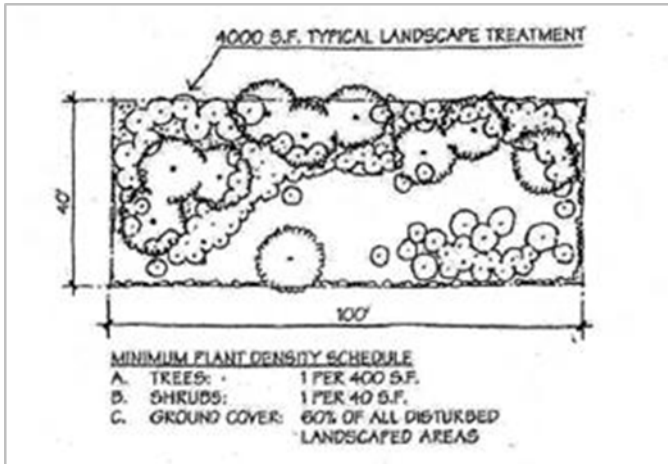
Medium Plant Size

To achieve the desired landscaping, plant container size shall be as follows:

- a. Trees - 15 gallon or larger
- b. Shrubs - 5 gallon
- c. Ground cover - 1 gallon or seed with native desert seed

Minimum Plant Density

Plant density for a typical 4,000 S.F. area follows:



1.7.1 LANDSCAPING

Cut and fill areas and other disturbed areas should be re-planted with desert vegetation, including irrigation as necessary, to blend with surrounding areas. Planting of grass lawns should be limited to enclosed patio areas (See 1.7.2 ORNAMENTAL LANDSCAPING).

Landscaping normally occurs in the area between the street and the front and side yards of the home.

All landscaping shall be completed prior to the Final Site Inspection. The Design Review Committee may allow exceptions due to time of year, etc.

1.7.2 ORNAMENTAL LANDSCAPING

Ornamental Landscaping can only occur behind patio walls. The landscaping behind patio walls can include exotic plants, but selecting plants from the Approved Landscaping Plant Materials list is highly recommended. Non-native trees cannot exceed 20 feet in height.

1.8 LANDSCAPING PLANT MATERIALS

A list of approved plants and trees, partially approved plants and unapproved plants and trees appears at the end of these Design Guidelines (See Appendix 1: APPROVED LANDSCAPING PLANT MATERIALS).

2. SITE IMPROVEMENTS

2.1 CONSTRUCTION PERIOD (FOR CUSTOM AND SEMI-CUSTOM LOTS)

Do not start construction without Architectural Approval. The construction period shall not exceed 12 months from the date of the initial on-site inspection approval.

Construction period as defined above commences when the pad is cleared and ends with approval of the Final Site Inspection by the Design Review Committee. Special time extension may be granted by the Design Review Committee.

Correction of deficiencies found during the Final Inspection must be completed and reinspected within 30 days of the final inspection.

Request for Final Inspection must be made either prior to move-in or within the first 30 days of occupancy.

2.2 BUILDING MATERIALS

Masonry and/or stucco are required building materials and shall set a predominant construction theme throughout Sabino Mountain unless by special approval of Design Review Committee.

Permitted materials include:

- a. Cement stucco over CMU
- b. Split face concrete block
- c. Brick and mortar washed brick
- d. Fired adobe block
- e. Mud stucco over stabilized adobe block
- f. Natural rock
- g. Stucco over wood or steel frame

All exposed wood timbers shall be kiln dried and bolted or strapped securely in place. Oversizing of structural exposed timbers is recommended with a minimum nominal thickness of 2-1/2". All exposed wood shall be treated with a preservative, stained or painted and maintained. All exposed roof scuppers, gutters, downspouts and sheet metal shall be painted.

All other building materials are subject to review and approval by the Design Review Committee.

2.3 EXTERIOR APPEARANCE AND COLORS

Exterior appearance shall blend with the natural surroundings and the landscaping. No exposed scissor truss forms allowed on any elevation.

Exterior colors must relate to each other and high contrasts between colors are to be avoided. Accepted colors are to be muted browns and tans. No white or near white colors will be allowed. LRV's (Light Reflective Values) need to be between 15 and 45. Builders/Property Owners must submit a paint chip with the manufacturer's name, paint number, and LRV at the time of the Preliminary Plan Review. Small amounts of accent colors are permitted. Each paint color is subject to discretion of the Design Review Committee relative to its aesthetic appeal and its fitness for this subdivision.

Exterior colors, including the trim and roof colors, must be approved by the Design Review Committee prior to application. The Design Review Committee may request that a 5' x 5' paint sample must be painted on a section of the house and at least 5 linear feet of fascia or trim. The Committee will review colors after the property manager has been notified that the paint sample(s) have been applied. The following Dunn Edwards paints have been previously approved for this subdivision:

| | |
|-----------------------|------------------------|
| Coral Clay (SP 148) | Coyote Paw (SP 2830) |
| Hedgehog (DE 1052) | Hickory (SP 177) |
| Lost Summit (SP 2250) | Monterey Grey (SP 131) |

This section also applies to anyone who wishes to re-paint his or her home. The property owner must submit the paint manufacturer-color-LRV for review unless the color was previously approved by the DRC.

Clear aluminum window and door frames are not permitted, nor any reflective surfaces.

2.4 ROOF MATERIALS

Concrete tile roofs and natural clay Mexican tile roofs are encouraged and shall be used as roof elements rather than as decoration. Pitched roofs shall not exceed 6 in 12. Parapet roofs shall be continuous around the roof perimeter, including porches. White or reflective roofs are not permitted. Metal roofs may be allowed and will be considered on a case by case basis by the Design Review Committee. Material and color samples must be included with the Preliminary Review submittal. The LRV for proposed metal roofing material must be between 25 and 45. No wood or asphalt shingle roofing material shall be allowed.

2.5 BUILDING HEIGHTS

Production Lots: Building heights shall be 22' maximum.

Semi-Custom Lots: Building heights shall be 20' maximum. Only one-story structures will be allowed on lots numbered 74 through 84.

Custom Lots: Building heights shall be 20' maximum (one-story bi level).

Finished floor elevations (FFE) will be determined on an individual basis, based on topographical contours of each lot. The FFE will be in relation to present benchmarks located in the streets.

2.6 WALLS

Patio walls, including utility yard enclosures, or extensions of the house design, shall be constructed from the same or compatible materials and earth tone colors as building walls, and shall comply with Maximum Wall Heights. Wrought iron inserts may be approved for rear site walls. Unless otherwise approved, patio walls will be the same color as the house.

Walls that project in a way to reveal their thickness for primary elevations shall return or terminate into a 16" wide pilaster.

Soften long wall lines with plant recesses and landscape for vertical and horizontal relief.

Maximum Wall Heights

- a. 6' at front of dwelling; other heights are subject to review and approval by the Design Review Committee.
- b. 6' at side and rear of unit

Heights shall be measured from the exterior existing grade adjacent to the wall.

Gates

All gates shall be of wood slats within a metal frame or metal.

Rear Wall View Fencing

Production Lots: The material and pattern for rear wall view fencing shall be consistent within each contractor's "pod." Plans and elevations shall be submitted to the Design Review Committee for review and approval prior to construction on any lots.

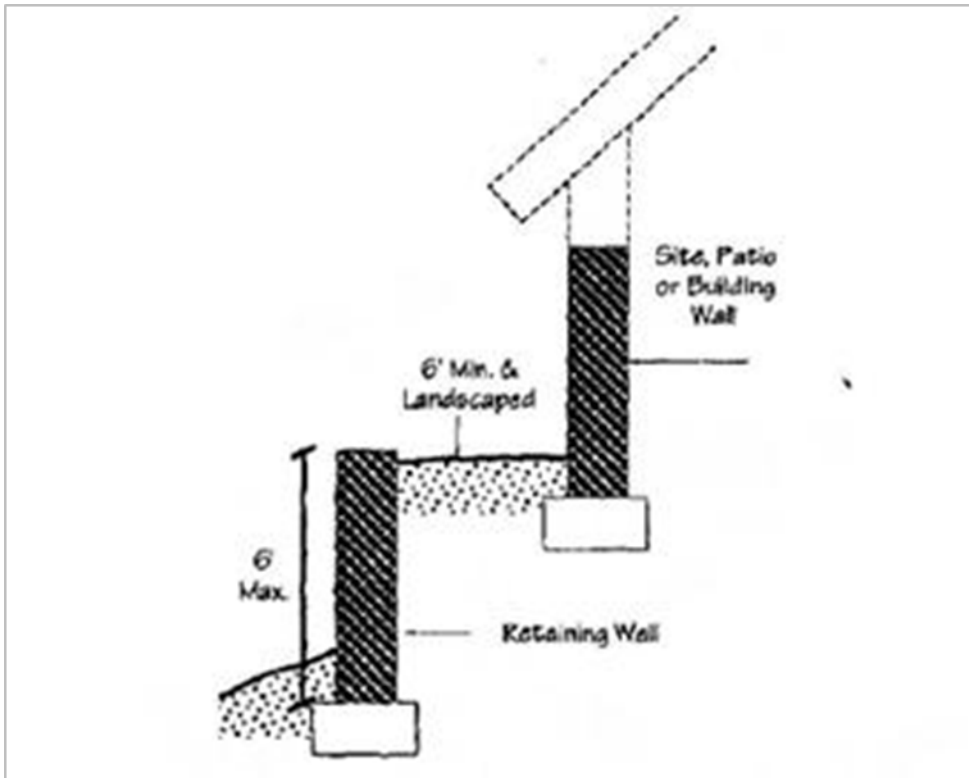
Custom Lots: The material and pattern for rear wall view fencing shall consist of:

- a. Iron
- b. Masonry
- c. Combination of iron and metal (Subject to review and approval by the DRC).

2.7 RETAINING WALLS

Retaining walls may be used to support patio walls and building walls. When used, retaining walls shall not occasion an increase in the allowable building or wall heights. A terraced wall design will be required when topographical conditions require a variance

for wall heights in excess of allowable limits. In any case no exposed wall surface shall exceed the designated wall heights (See 1.4 SIDE SLOPE GRADING).



2.8 DRIVEWAYS AND PARKING

Driveways shall be paved with Acceptable Paving Materials. Driveways that cross washes shall have appropriate concrete toe-downs. Driveways must be completed prior to move-in.

Acceptable Paving Materials

- a. Concrete or Colored Concrete (earth tones)
- b. Brick
- c. Exposed Aggregate Concrete
- d. Other products as approved by the Design Review Committee

Driveways shall be used for construction access and to accommodate guest parking. On-street parking is not allowed.

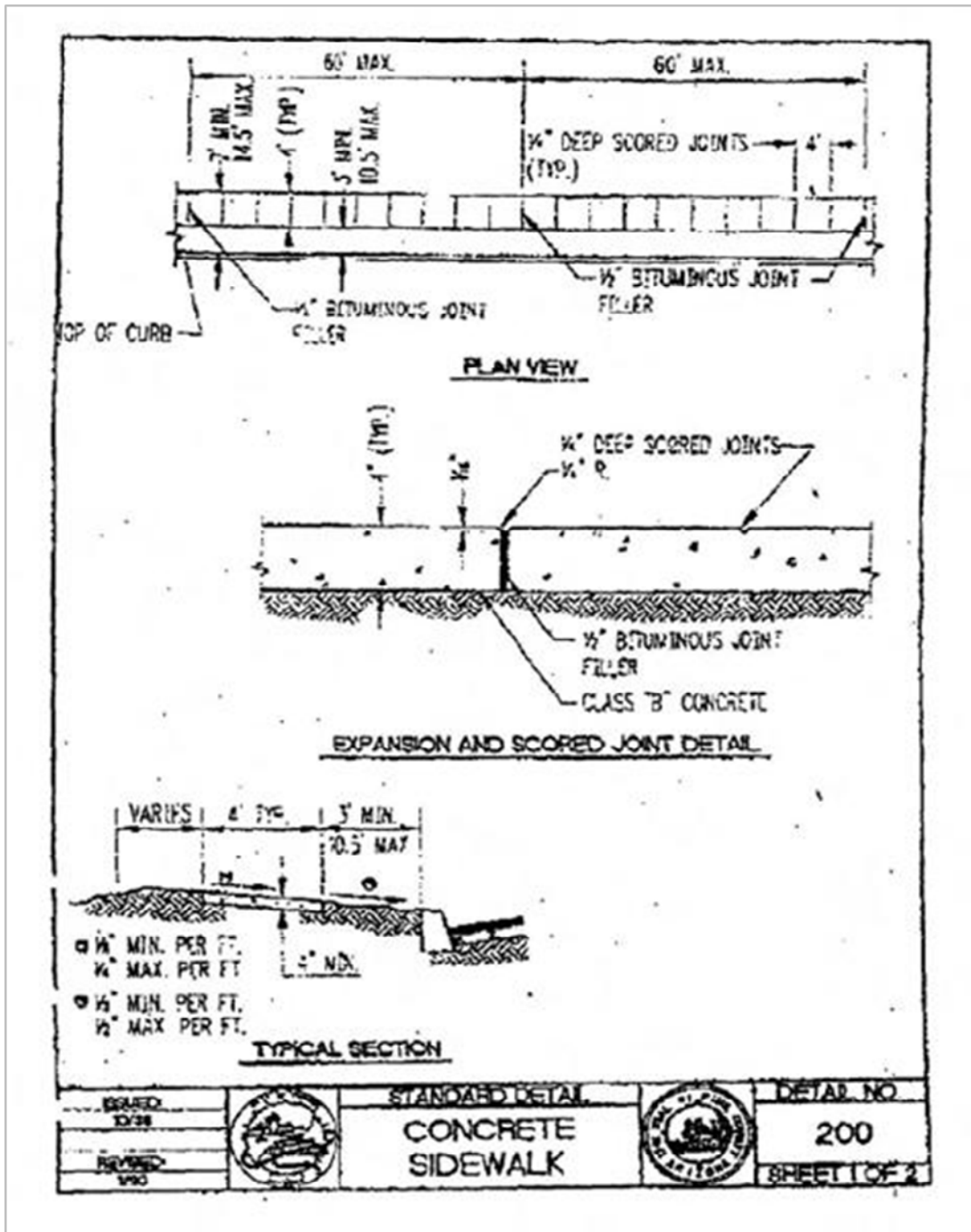
A minimum two-car garage with automatic door opener is required for each home. Trucks, boats, campers, trailers and other recreational vehicles shall not be parked, even temporarily, on the property except when stored within a garage.

Driveway Cut Repair

All driveway cuts must be repaired; also required at right-of-way treatment at all lots and, in addition and at the discretion of the builder, at any internal slopes.

2.9 SIDEWALKS

Sidewalks shall adhere to the specifications of Pima County (See diagram that follows). Exposed aggregate concrete sidewalks will not be allowed. Owner is responsible for installation of sidewalks.



2.10 MECHANICAL AND SOLAR EQUIPMENT

All heating and cooling equipment, including duct work, must be located on the ground or within the building. Ground-mounted equipment must be concealed from view with a wall and gate(s). Solar equipment must be integrated into the design of the building and properly screened from view with walls, vegetation, or other natural elements. Exceptions may be made on a case-by-case basis.

2.11 GARAGES

Garage doors must be painted to match the exterior of the building. The color may match either the building or the accent color. White and reflective paint colors are prohibited. Side entries are encouraged.

2.12 DECKS/PATIOS

Decks and patios shall be constructed of materials to avoid the use of "wood" posts. All exposed beams and posts shall be of 6" x 6" thickness or greater. Wrought iron may be used but must be painted to match the dwelling structure.

2.13 UTILITY/STORAGE SHEDS

Utility and storage sheds are not permitted or allowed.

2.14 PLAY EQUIPMENT AND BASKETBALL COURTS

Play equipment and portable basketball hoops, or similar, are allowed to be set up behind lot owner's patio walls. The design, construction material, colors and locations of proposed play equipment and basketball hoops must be submitted to the Design Review Committee for review and approval.

2.15 DWELLING MINIMUM SQUARE FOOTAGE

The minimum square footage of the heated and cooled area is 2,500 SF for custom lots.

3. SITE AMENITIES

3.1 EXTERIOR LIGHTING

All outdoor lighting fixtures shall be with lamps no greater than a 75 watt bulb and shall conform to Pima County Exterior Light Filtration Code and shall be located and maintained not to create light pollution with surrounding properties. Driveway lights must be connected upon installation. A time clock or electric eye must activate the light.

3.2 TRASH RECEPTACLES

Trash receptacles shall be located in utility yards, screened by an approved enclosure concealed from view of adjoining lots, streets and common areas.

The Homeowners Association will approve a common trash pick up company. It will be the homeowner's responsibility to contract with that company.

3.3 SIGNAGE

Production Lots

Entry Monuments: To maintain the highest aesthetic standards of the communities a standard entry monument design will be approved and will be personalized for each community development.

Semi-Custom and Custom Lots: To maintain the highest aesthetic standards of the community, each lot owner/builder or realtor will be asked to abide by the Sabino Mountain Sign Code.

Builder Signage:

One sign will be allowed for each Builder to represent his home. The size will be no larger than 3' by 4'. The design and colors must comply with Sabino Mountain Sign Code as follows:

- a. H-Frames
 - 1) Background color is PMS 484u
 - 2) Letter colors will be white with a drop shadow of black
 - 3) Border is PMS 407
 - 4) Builder name and company type colors are PMS 407
 - 5) Posts match PMS 407
 - 6) Open House signs can be posted for eight (8) consecutive hours only.
- b. Realtor Signage
 - 1) Realtor metal signs can be used. The sign must be no longer than 18" x 24" and must also be designed and painted to comply with sign standards.
 - 2) Background color is PMS 484u
 - 3) Letter color is white
 - 4) Builder name is PMS 407
 - 5) Metal frame should be black
 - 6) Open house signage can be posted for eight (8) consecutive hours only.

3.4 POOLS

The design of swimming pools, spas and pool houses shall be approved by the Design Review Committee whether or not construction accompanies dwelling unit or occurs thereafter. All associated mechanical equipment shall be enclosed and concealed from view from adjoining properties, streets and common areas.

3.5 ACCESORY BUILDINGS

Tennis courts, guest houses, and other accessory structures shall be allowed only with permission of the Design Review Committee. A written permit and structure design approval is required and structure design shall be approved by the Design Review Committee. No lighting of courts will be permitted.

3.6 MAILBOXES

Production Lots: Mailbox design shall be identical in shape, size, color, and address identification within each contractor's "pod". The mailbox design shall be submitted to the Design Review Committee for review and approval prior to construction on any lots.

Custom and Semi-Custom Lots: Standard mailboxes are required. Mailbox design shall be identical in shape, size, color, and address identification.

- a. Installation of the mailbox shall be the responsibility of the homeowner.
- b. Each contractor shall provide the concrete base as directed by the mailbox manufacturer.
- c. Each mailbox shall be installed (by the contractor) according to the specifications of the mailbox manufacturer.
- d. Each mailbox shall be placed at a minimum of five (5) feet from the driveways and outside of the right-of-way on the property line. (Please refer to your plat map for the location of the property line.)

4. HOMEOWNER PROJECTS

These projects require review and approval by the homeowners association. Examples of such projects include but are not limited to the following: swingsets, exterior window coverings, awnings, flag poles, Malibu lighting, ramadas, gazebos, patio extensions, outdoor fireplaces, play houses, security doors, and security bars, pool slides and diving board, trellises, driveway expansions and coatings, fountains, additional signage, exterior wall ornamentation, holiday lighting and decorations, statues, gated entries, shutters, rolling shutters, and skylights. No such improvements, alterations, repairs, excavations, grading, landscaping or other work that in any way alters the exterior appearance of a Property or a Lot, or the Improvements to Residence thereof, from its natural or improved state shall be made or done without prior approval, in writing, of the Design Review Committee.

5. REVIEW PROCESS BY THE DESIGN REVIEW COMMITTEE

Approval of a detached single-family home by the Design Review Committee involves successful completion of four stages. Please allow a minimum of five working days for both the preliminary and final review processes.

1. Preliminary Review
2. Final Document Review
3. Pre-construction Inspection
4. Final Site Inspection

These stages are progressive and are intended to assure compliance with the Sabino Mountain Design Guidelines. The above four review stages must be completed separately and in the order shown. All approvals shall be in writing from the Committee.

All plans and documents shall be submitted in duplicate (you must provide two identical sets) with one copy to be retained by the Design Review Committee and one returned to the applicant. All submittals must follow instructions and contain all required information, as outlined in these Design Guidelines. If a discrepancy occurs, plans will not be accepted for processing.

Submit plans to the Sabino Mountain property manager.

Review and approval of the submitted final plans applies only to planned site and building development and does not necessarily imply acceptance or approval of any project layout or construction.

Reviews are to determine the recommendation of the approving architect. Approval of submitted final plans must be obtained from the Sabino Mountain Homeowners Association.

Approvals and reviews from Sabino Mountain Homeowners Association and reviewing architect are for compliance with applicable Sabino Mountain Conditions, Covenants, Standards and Restrictions only. Separate approval and/or building permits may be required from Pima County and other agencies before any construction takes place. It is the responsibility of the homeowner to secure required approvals for any work undertaken.

Please contact the Sabino Mountain property manager for the current fee for the review process. The total amount shall be submitted with the Preliminary Review request. The fee is non-refundable in the event the project is abandoned by the Owner or rejected by the Committee. Additional review fees may be required for more than one submittal of preliminary and final plans for review, additions, site improvements, pools, etc.

Any additions or modifications to exterior elevations, pools, patios, decks, driveways, walks or a free standing building shall be submitted to the Committee through this approval process.

Review fees may be adjusted on a periodic basis in amounts commensurate with the scale of the project. Failure to submit plans to the Committee prior to obtaining governmental review or plan check through Pima County places the Owner at risk and is done at Owner's sole discretion.

Throughout the Design Review Process, the contact indicated on the Architectural Review submittal form will be notified of any action taken involving that particular lot.

5.1 PRELIMINARY PLAN REVIEW

PRODUCTION LOTS - 5 WORKING DAYS MINIMUM

TWO bound sets including:

1. Development Plans
 - a. Typical Site Plan or Master Plan
 - b. Typical Landscape Plan, if possible including the following:
 - 1) 40' Scale minimum
 - 2) Plants layout
 - 3) Plant name and size
2. Model Plans, including:
 - a. Floor Plan
 - b. Exterior Elevations – 2 (with heights clearly indicated)
3. Color Chips
Actual color samples of major exterior materials
4. Review Fee

CUSTOM AND SEMI-CUSTOM LOTS - 5 WORKING DAYS MINIMUM

TWO bound sets including:

1. Development Plans
 - a. Site Plan – minimum 40 scale with north arrow, tile and date. Identify building envelope area. Identify location of adjacent properties and their existing structures. Identify location of construction toilets and dumpsters.
 - b. Landscape Plan, must be in a minimum 24" x 36" sheet and include the following:
 - 1) 40' Scale minimum
 - 2) Plants layout
 - 3) Plant name and size
2. Architectural Plans, including:
 - a. Floor Plan
 - b. Exterior Elevations – 2 (with heights clearly indicated)
3. Color Chips
Actual color samples of major exterior materials

4. Review Fee

**5.2 FINAL DOCUMENT REVIEW
5 WORKING DAYS MINIMUM**

TWO bound sets including:

1. Completed Plans and Specifications as would be submitted to Pima County for Building Permit
2. Landscape Plan
3. Construction Schedule - 1 each

**5.3 PRE-CONSTRUCTION INSPECTION (FOR CUSTOM AND SEMI-CUSTOM LOTS)
Please give three days' notice.**

1. Finished Floor Elevations
Benchmark Established
2. Building Corners Stacked
3. Building Envelope Fenced

**5.4 FINAL SITE INSPECTION (FOR CUSTOM AND SEMI-CUSTOM LOTS)
Please give three days' notice.**

1. Owner/Committee representative walk-through
2. Review compliance with undisturbed open space requirements
3. Final Approval

6. CONSTRUCTION STANDARDS

The following rules and regulations relating to construction activities within Sabino Mountain shall be and the same are hereby adopted by the Board of Directors of the Sabino Mountain Community Association, Inc. pursuant to Section 3.10 of the Amended and Restated Declaration of Covenants, Conditions and Restrictions from Sabino Mountain, to be applicable to all Lots, Owners and Occupants, their agents and employees, including their builders, contractors, subcontractors and workers:

Construction shall not commence without Architectural Approval and site visit. Seventy-two hours' minimum notice for site review is required (for custom and semi-custom lots).

Construction Hours

Construction activities shall take place only from 7 a.m. to 6 p.m. during the winter months of October to February and from 6 a.m. to 6 p.m. during the summer months of March to September.

Sundays and Holidays

No construction activity shall occur on Sundays or New Year's Day, Memorial Day, Easter, Fourth of July, Labor Day, Thanksgiving and Christmas.

Parking

Construction workers shall park only on one side of the street because parking on both sides results in a narrow traffic lane and creates a safety hazard.

Trash Containers

No trash containers (dumpsters, roll offs, etc.) can be placed on the street. They must be kept on the owner's lot or on an undeveloped lot with that lot owner's permission. All trash containers must be emptied regularly.

Construction Material

No construction material, such as lumber, sand, soil or rocks, can be stored on the street or placed on an undeveloped lot except with that lot owner's permission.

Construction Debris

Construction debris, such as nails, glass, wood, paper, cement and sheet rock, shall be promptly removed from streets, other lots and common areas.

Repairs

Owners shall be responsible for and promptly repair any damage done by their builders, contractors, subcontractors or workers to other property within Sabino Mountain, such as curbs, gutters, hydrants, sidewalks, streets, shoulders, utilities, landscaping and drainage facilities. Placing dirt across curbs where trucks and cars enter the lot will reduce damage to curbs.

Portable Toilets

Portable toilets are required during construction. They must be kept on the lot, not in the street, and emptied regularly.

Concrete Delivery

To avoid spillage while driving up the slope on Sabino Mountain Drive, concrete trucks shall not be fully loaded. For example, a 10-ton truck should carry only a nine-ton load. Owners are responsible for removing any spilled concrete.

An owner who violates these rules will receive a notice stating the violation and when it must be corrected. Failure to cure or correct the violation within the time specified may result in the imposition of any remedy or remedies set forth in the Covenants, Conditions and Restrictions for Sabino Mountain.

APPENDIX 1: APPROVED LANDSCAPING PLANT MATERIALS

THE PLANTS AND TREES ON THIS PAGE AND THE NEXT THREE PAGES ARE APPROVED FOR PLANTING ANYWHERE ON YOUR LOT OR PROPERTY.

AGAVE, ALOE, CACTI, & YUCCAS*

| | |
|----------------------------|---------------------------------------|
| AGAVE (All) | EUPHORBIA (All) |
| ALOE (All) | EDGEHOG (All) |
| CACTI | TURK'S HEAD "NICHOLI" |
| BARREL (All) | <i>Echinocactus horizionthalonius</i> |
| CEREUS (All) | MAMMILLARIA (All) |
| CHOLLA (All) | ORGAN PIPE (All) |
| DESERT CHRISTMAS CACTUS | PRICKLY PEAR (All) |
| <i>Opuntia leptocaulis</i> | SAGUARO (All) |
| | YUCCA (All) |

GROUNDCOVER*

| | |
|------------------------------|------------------------------|
| DAISY | PEREZIA |
| AFRICAN | <i>Perezia wrighti</i> |
| <i>Dimorphotheca sinuata</i> | PRIMROSE |
| BLACKFOOT | BAJA |
| <i>Melampodium cinereum</i> | <i>Denothera drummondii</i> |
| DAHLBERG | MEXICAN EVENING |
| <i>Thymophylla tenuiloba</i> | <i>Oenothera berlandieri</i> |
| DESERT ZINNIA | WHITE EVENING |
| <i>Zinnia acerosa</i> | <i>Oenothera caespitosa</i> |
| DWARF LANTANA | SUNDROP (All) |
| <i>Lantana montevidensis</i> | TRAILING INDIGO BUSH |
| GOLDEN FLEECE | <i>Dalea greggii</i> |
| <i>Dyssodia tenuiloba</i> | MYOPORUM (All) |
| ICE PLANTS (All) | YELLOW INDIGO BUSH |
| PARROT'S BEAK | <i>Dalea capitata</i> |
| <i>Lotus berthelotii</i> | VERBENA (All) |

ARIZONA ROSEWOOD
Vauquelinia californica
 BIRD OF PARADISE (All)
 BLACK KNIGHT
Buddleia davidii
 BOTTLE BRUSH (All)
 BOUGANVILLEA (All)
 BRITTLE BUSH
Encelia farinose
 BULBINE
Liliaceae frutescens
 BUTTERFLY BUSH
Buddleia marrubifolia
 CASSIA (All)
 CREOSOTE
Larrea tridentate
 DAISY
 Angelita
Hymenoxys acaulis
 DAMIANITA
Chrysactinia mexicana
 DARK KNIGHT
Caryopteris clandonensis cultivar
 DESERT HACKBERRY
Celtis pallida
 DESERT SPOON (All)
 DWARF OLEANDER (All)
 EMU BUSH (All)
 EVERGREEN SUMAC
Rhus virens
 FAIRY DUSTER (All)
 FEATHER BUSH
Lysiloma thornberi
 GAURA
Gaura lindheimeri
 GREY THORN
Zizyphus obtusifolia
 HIBISCUS (All)
 HOP BUSH (All)

SHRUBS*

HONEYSUCKLE (All)
 INDIGO BUSH (All)
 JOJOBA
Simmondsia chinensis
 LITTLE LEAF CORDIA
 LANTANA (All)
 LAVENDER (All)
 LIMBERBUSH
Jatropha cardiophylla
 MEXICAN HUMINGBIRD
Zauschneria latifolia mexicana
 ORANGE BELL
Tecoma-stans alata
 PETITE OLEANDER (All)
 PURPLE FOUNTAIN GRASS
Pennisetum "cupreum"
 QUAIL BUSH
Atriplex lentiformis
 REGAL MIST GRASS
Muhlenbergia capillaris
 ROSEMARY (All)
 RUELLIA (All)
 SENNA (All)
 SALVIA (All)
 SALT BUSH (All)
 SHRUBBY SENNA
Cassia wislizeni
 SOTOL (All)
 SUGAR BUSH
Rhus ovata
 TACOMA (All)
 TEXAS MOUNTAIN LAUREL
Sophora secundiflora
 TEXAS RANGER (All)
 TRIXIS
Trixis californica
 WOLF BERRY
Lycium berlanderi

ACACIA (All)
 BIRD OF PARADISE (All)
 BOTTLEBRUSH (All)
 CHIHUAHUAN ORCHID TREE
Bauhinia lunarioides
 DESERT WILLOW
Chilopsis linearis
 JACARANDA
Jacaranda mimosaeifolia
 LITTLELEAF(GREGG) ASH
Fraxinus greggii
 MESQUITE (All)
 MEXICAN EBONY
Pithecellobium mexicanum
 MIMOSA
Albizia Julibrissin
 MONK'S/CHASTE TREE
Vitex Agnus/Castus
 NETLEAF HACKBERRY
Celtis reticulate

ARIZONA GRAPE
Cissus trifoliata
 BIGNONIA (All)
 BOWERVINE
Pandorea Jasminoides
 CAT CLAW
Macfadyena unguis-cati
 HALL'S HONEYSUCKLE
Lonicera japonica
 LILAC VINE
Hardenbergia violacea
 LILIAK ORCHID VINE
Mascagnia lilacaena

TREES*

OCOTILLO
Fouquieria splendens
 OLIVE TREE
Olea wilsonii
Olea swanhill
 ORCHID TREE
Bauhinia macrenthera variegata
 PALO BREA
Cercidium praecox
 PALO VERDE (All)
Except Mexican Palo Verde
Parkinsonia aculeate
 PISTACHIA
Pistachia lentiscus
 SOUTHERN LIVE OAK
Quercus virginiana
 TEXAS EBONY
Pithecellobium flexicaule
 TEXAS OLIVE
Cordia boissieri
 THEVETIA
Thevetia Peruviana

VINES*

YELLOW ORCHID VINE
Callaeum macroptera
 PINK TRUMPET VINE
Podranea ricasoliana
 QUEEN'S WREATH
Antigonon leptopus
 SNAIL VINE
Vigna caracalla
 TOMBSTONE ROSE
Rose banksiae
 TRUMPET CREEPER
Campsis radicans

OTHER PLANTS*

DESERT MARIGOLD

Baileya multiradiata

DYSSODIA

Dyssodia pentachaeta

GLOBE MALLOW

Sphaeralcea ambigua

LUPINE (All)

PAPER FLOWER

Psilostrophe cooperi

PENSTEMON (All)

POPPY

Arizona

Kallstroemia grandiflora

California

Eschscholtzia californica

* IF A PLANT THAT YOU WANT TO USE IS NOT AN APPROVED PLANT, PLEASE CONTACT A MEMBER OF THE LANDSCAPE COMMITTEE FOR GUIDANCE BEFORE BUYING THE PLANT.

PARTIALLY APPROVED PLANTS

THE PLANTS ON THIS PAGE MAY BE PLANTED ONLY IN BACKYARDS OR BEHIND WALLED YARDS OR PATIOS ON YOUR LOT OR PROPERTY.

ASPARAGUS FERN

Asparagus setaceus

DAISY BUSH

Euryops pectinatus

EUONYMUS PLANTS

FIG TREE

Ficus carica

FIRETHORN

Pyracantha graberi

INDIAN HAWTHORNE

Rhaphiolepis indica

JAPANESE BOXWOOD

Buxus japonica

OLEANDER (Common)

PERSIAN LILAC

Syringa persica

PHOTINIA PLANTS

PINAPPLE GUAVA

Feijoa sellowiana

POMEGRANATE

Punica granatum

QUEEN PALM

Syagrus romanzoffianum

UNAPPROVED PLANTS & TREES

THE PLANTS AND TREES ON THIS PAGE MAY NOT BE PLANTED ANYWHERE ON YOUR LOT OR PROPERTY. THEY MAY NOT BE PLANTED IN POTS, INSIDE WALLED YARDS OR PATIOS, OR IN FRONT, SIDE, OR BACK YARDS. THESE PLANTS AND TREES ARE NOT ALLOWED IN THE SABINO MOUNTAIN COMMUNITY BECAUSE THEY:

- GROW TOO TALL OR WIDE;
- POSE A WILDFIRE THREAT;
- ARE MESSY, POSIONOUS, OR NOXIOUS;
- SPREAD OR PROPOGATE TOO QUICKLY;
- ARE NOT NATIVE TO THE SONORAN DESERT; OR
- DO NOT GENERALLY CONFORM TO THE NATURE AND OVERALL LANDSCAPING DESIGN OF THE COMMUNITY.

BUFFELGRASS

Cenchrus ciliaris

PHOENIX DATE PALM

Canariensis dactylifera

DESERT BROOM

Baccharis sarthroides

EUCALYPTUS (All)

EUROPEAN OLIVE TREE

GREEN FOUNTAIN GRASS (All)

Pennisetum

ITALIAN CYPRESS

Cupressus sempervirens

JIMSONWEED

Datura stramonium

MEXICAN FAN PALM

Washingtonia robusta

MEXICAN PALO VERDE

Parkinsonia Aculeata

MULBERRY TREE (All)

PINE TREES (All)

SALT CEDAR/TAMARIX (All)

SILK "OAK"

Grevillea robusta)

TOBACCO TREE

Nicotiana glauca

TUMBLEWEED (RUSSIAN THISTLE)

Salsola kali

APPENDIX 2: ARCHITECTURAL REVIEW SUBMITTAL INFORMATION

____ PRELIMINARY REVIEW ____ FINAL REVIEW ____ IMPROVEMENT REVIEW

Date _____

Sabino Mountain Lot # _____

Contact/ Submitter Name _____

Phone _____

Owner's Name _____

Address _____

Phone # _____

Mobile _____

Contractor's Name _____

Address _____

Phone # _____

Mobile _____

Materials To Be Used

Exterior Colors To Be Used

Other Information

Please submit to the Sabino Mountain Property Manager. Architectural Review requests will be reviewed as soon as possible. Requests either will be approved, denied or returned promptly for additional information.